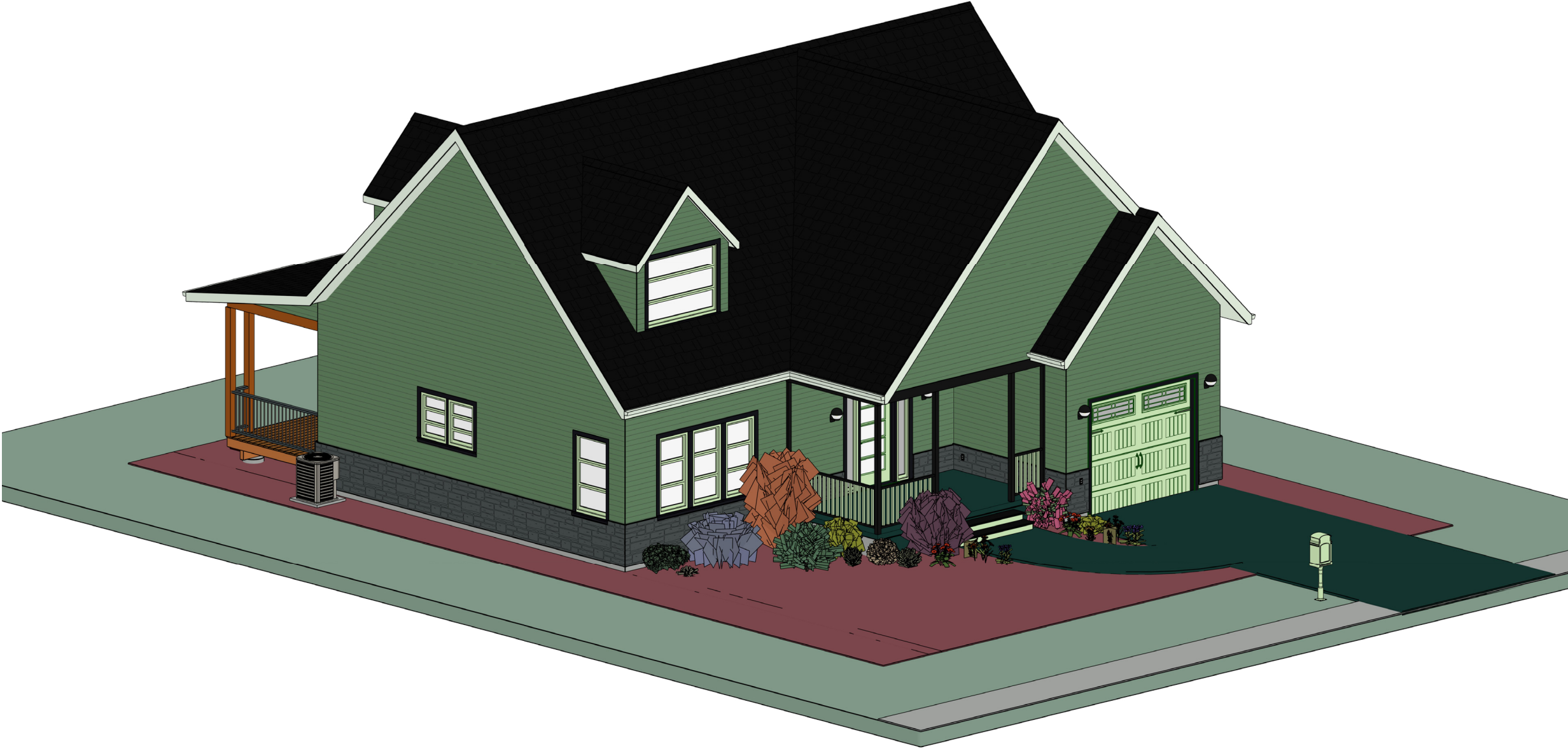


# CHIC COTTAGE



| TARGET AREA | SQ FOOTAGE |
|-------------|------------|
| HEATED      | 2,910      |
| NON-HEATED  | 465        |
| UNDER ROOF  | 512        |
|             |            |
| TOTAL       | 3,887      |

| SHEET NAME                         | DRAWING |
|------------------------------------|---------|
| TITLE SHEET                        | G-001   |
| GENERAL NOTES                      | G-002   |
| MAIN FLOOR PLAN                    | A-101   |
| SECOND FLOOR PLAN                  | A-102   |
| ENLARGED KITCHEN PLAN & ELEVATIONS | A-131   |
| FRONT ELEVATIONS                   | A-201   |
| SIDE ELEVATIONS                    | A-202   |
| BUILDING SECTIONS                  | A-301   |
| ELECTRICAL PLAN                    | A-801   |

BARBI  
OSBORNE

## CHIC COTTAGE

1203 CENTAUR RD  
SAG HARBOR, AK 99606

| REVISIONS |                    |      |
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### PROJECT NUMBER

001.001

### SHEET NAME

TITLE  
SHEET

### DRAWING NUMBER

G-001

SHEET 1 OF 9

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GENERAL FRAMING NOTES:

- ALL DIMENSIONAL LUMBER SHALL BE DOUGLAS FIR LARCH NO. 2 AND LARGER LUMBER SHALL BE DOUGLAS FIR NO.1 OR BETTER, UNO.
- WALL HEADERS: (2) 2 X 10 DF 2 W/IK/IT TYP. UNO
- I-JOISTS AND LVL MEMBERS MUST BE INSTALLED IN COMPLIANCE WITH THEIR LISTINGS.
- ALL TRUSSES SHALL BE ENGINEERED AND STAMPED WITH A SEPARATE ENGINEERED DOCUMENT.
- PRE-MANUFACTURED WOOD JOISTS & TRUSSES SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS, MANUFACTURED BY THE TRUSS OR JOIST COMPANY. NO MEMBERS SHALL BE MODIFIED AND MUST BE INSTALLED IN COMPLIANCE WITH THEIR LISTINGS. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. MEMBERS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS. THE MANUFACTURER SHALL VISIT JOB SITE AS REQUIRED AND VERIFY THE PROPER INSTALLATION OF THE JOISTS & TRUSSES IN WRITING TO THE CONTRACTOR/ENGINEER. PRE-MANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED, PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS, DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE PROJECT, AND IS ENGINEER OR ICBO APPROVED.
- ALL JOISTS AND RAFTERS SHALL HAVE SOLID BLOCKING AT THEIR BEARING POINTS. CONNECT BLOCKING TO TOP OF WALL W/ SIMPSON FRAMING ANCHORS. ROOF JOIST TO HAVE HURRICANE CLIPS @ 48" O.C. OR SIMPSON H-1 HURRICANE CLIPS @ 24" O/C. INSTALL PRIOR TO ROOF SHEETING.
- ALL WOOD & IRON CONNECTIONS MUST CARRY THE CAPACITY OF THE MEMBER. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTIONS. IF OTHER THAN STANDARD CONNECTIONS ARE REQUIRED, CONTACT PROJECT ENGINEER FOR ASSISTANCE. USE SIMPSON OR OTHER ICC LISTED CONNECTIONS.
- ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL.
- NAILS: ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS ALL FRAMING NAILS SHALL BE COMMON NAILS. OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IBC TABLE 2304.9.1 OR IRC TABLE R602.3(1).
- THRUST SHALL BE ELIMINATED BY THE USE OF COLLAR TIES OR CEILING JOISTS, WHERE REQUIRED.
- BEVELED BEARING PLATES ARE REQUIRED AT ALL BEARING POINTS FOR BCI & TJI RAFTERS.
- ALL COLUMNS SHALL EXTEND DOWN THRU THE STRUCTURE TO THE FOUNDATION. ALL COLUMNS SHALL BE BRACED AT ALL FLOOR LEVELS. COLUMNS SHALL BE THE SAME WIDTH AS THE MEMBERS THAT THEY ARE SUPPORTING.
- ALL EXTERIOR WALLS SHALL BE SHEATHED WITH 1/2" THICK 2-M-V SHEATHING OR EQUAL W/ 8D COMMON NAILS @ 6" O.C. @ EDGES @ 12" O.C. IN FIELD, UNO. SHEATHING SHALL BE CONTINUOUS ACROSS ALL HORIZONTAL FRAMING JOINTS.
- ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL EITHER BE BLOCKED, TONGUE-AND-GROOVE, OR HAVE EDGES SUPPORTED BY PLYCLIPS. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES. SHEATH ROOF PRIOR TO ANY OVER FRAMING.
- PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNO, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANEL ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.
- GLULAM BEAMS SHALL BE FABRICATED IN CONFORMANCE WITH U.S. PRODUCT STANDARD PS 56, "STRUCTURAL GLUED LAMINATED TIMBER" AND AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, ATTIC 117. EACH MEMBER SHALL BEAR AN ATIC OR APA-EWS IDENTIFICATION MARK AND BE ACCOMPANIED BY A CERTIFICATE OF CONFORMANCE. ONE COAT OF END SEALER SHALL BE APPLIED IMMEDIATELY AFTER TRIMMING IN EITHER SHOP OR FIELD.
- GLULAM BEAMS SHALL BE 24F-V4 DF/DF OR EQUAL FOR SIMPLE SPANS, AND 24F-V8 DF/DF FOR CONTINUOUS SPANS.
- "VERSA-LAM" & "MICRO-LAM MEMBERS SHALL BE GRADE 2.0 E.
- ANY WOOD IN CONTACT W/ CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- ALL WOOD & IRON CONNECTORS SHALL BE INSTALLED W/ ALL REQUIRED FASTENERS IN COMPLIANCE W/ THEIR WRITTEN APPROVAL.
- ALL HANGERS TO BE "SIMPSON" OR EQUAL.
- NOTIFY EOR PRIOR TO DRILLING HOLES IN STEEL BEAMS.

WALL FRAMING NOTES:

**FRAMING & STRUCTURAL NOTES**  
WINDOW ROUGH OPENING: 1/2" FOR TOP/BOTTOM & 1/2" FOR SIDES. CONFIRM WINDOW MFG. SPECS. BEFORE FRAMING  
WALL HEADERS ON EXTERIOR WALLS: (2) 2" X 10" DF 2 TYP. INSULATED w/ (1) 2x CRIPPLE & (1) 2X KING, UNO  
PROVIDE DOUBLE FLOOR JOISTS. UNDER ALL WALLS RUNNING PARALLEL  
PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER I.B.C. SEC. R502.12.  
PROVIDE POSITIVE CONNECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT  
ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED  
SEE ROOF FRAMING FOR ADDITIONAL FRAMING NOTES

**LUMBER SPECIES:**  
POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2  
EXPOSED CEDAR BEAMS TO BE DF-#2 OR BETTER,  
SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2  
ALL STUDS TO BE DF#2 OR BETTER  
SHEATHING SHALL BE AS FOLLOWS:  
WALL SHEATHING SHALL BE 1/2" INT-APA RATED OR 7/16" OSB  
FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED PLYWOOD

STAIR NOTES:

- STAIRWAYS SHALL HAVE A MIN. WIDTH OF 34". HAND RAILS MAY ENCR OACH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH.
- TREADS SHALL HAVE A MIN. WIDTH OF 10". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8".
- STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR.
- ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE "X" GYPSUM WALL BOARD.
- STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 36" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.
- HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.
- STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.
- GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 24" BELOW AND SHALL HAVE A 34" MIN. HEIGHT
- RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".
- THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.

BUILDING PERFORMANCE:

- HEAT LOSS CALCULATIONS SHALL COMPLY WITH REScheck AND/OR REQUIREMENTS OF LOCAL CODES.
- PORCHES, DECKS, BALCONIES, FOUNDATION AND GARAGE AREAS NOT INCLUDED IN LIVING AREA.
- ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.
- PROVIDE CRAWLSPACE VENTING TO MEET LOCAL CODE REQUIREMENTS INSULATE ALL ACCESS DOORS/ HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE, UNO.
- MINIMUM INSULATION:

|               |      |
|---------------|------|
| ATTIC/CEILING | R-50 |
| WALLS         | R-21 |
| FLOORS        | R-38 |

GENERAL PLUMBING & HVAC NOTES:

- HVAC SHALL HAVE TWO ZONES, ONE FOR EACH FLOOR.
- INSULATE HEATING TRUNK AND BRANCH SUPPLY DUCTS IN UNFINISHED AREAS, CRAWL SPACES, ATTICS GARAGES, ETC
- ALL DUCTING SHALL BE THRU FLOOR TRUSSES / JOISTS
- ENCLOSED ATTICS AND SPACES BETWEEN RAFTERS SHALL HAVE CLEAR CROSS VENTILATION AREA TO THE OUTSIDE VENTS. 1/150 OF SPACE VENTILATED FOR GABLE VENTS. 1/3000 OF SPACE VENTILATED FOR BOTH GABLE AND EAVE VENTS.
- DRYER, WATER HEATER, KITCHEN AND BATHROOM VENTING SHALL EXHAUST TO THE OUTSIDE OF THE BUILDING AND BE EQUIPPED WITH A BACK DRAFT DAMPER. VENT DRYER VENT, MAX. LENGTH OF DUCT 14' WITH TWO 90 DEGREE ANGLES.
- PROVIDE 30" CLEARANCE FROM RANGE TOP TO COMBUSTIBLE MATERIALS. FOR EXCEPTIONS, SEE INT. MECHANICAL CODE. SIDE CLEARANCE SHALL BE AS SPECIFIED BY PERMANENT MARKING ON THE UNIT. – IRC M1401.1
- WATER CLOSETS TO HAVE A FLOW RATE OF 1.6 GALLONS OR LESS PER FLUSH –IRC P2403.2
- SHOWER HEADS TO HAVE FLOW RATE OF 2.5 GALLONS PER MINUTE OR LESS. – IRC P2403.2
- TUBS/SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE.
- INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 84" ABOVE SHOWER DRAINS.
- WATER SOFTENER UNIT, SHALL CONDITION WATER BEFORE ENTERING THE WATER HEATERS AND THE COLD WATER SOURCE. WATER TO REFRIGERATOR, KITCHEN AND BATH SINKS SHALL NOT HAVE CONDITION WATER.
- EACH HOSE BIBB SHALL BE EQUIPPED WITH A BACK FLOW PREVENTION DEVICE.
- ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING, "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER.
- INSULATE WASTE LINES FOR SOUND CONTROL.
- INSTALL CENTRAL VACUUM SYSTEM & PIPING; CONFIRM BRAND WITH HOMEOWNER.

GENERAL NOTES:

THIS PLAN SET, COMBINED WITH THE BUILDING CONTRACT, PROVIDES BUILDING DETAILS FOR THE RESIDENTIAL PROJECT. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES. CONTRACTOR SHALL BE RESPONSIBLE AND BEAR ANY FINES OR PENALTIES FOR CODE, ORDINANCE, REGULATION OR BUILDING PROCESS VIOLATIONS. INSURANCES SHALL BE IN FORCE THROUGHOUT THE DURATION OF THE BUILDING PROJECT.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/ DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS). ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

INSPECTION NOTES:

- PROVIDE SPECIAL INSPECTION, SPECIAL TESTING, REPORTING AND COMPLIANCE PROCEDURES ACCORDING TO THE LOCAL BUILDING CODE.
- SPECIAL INSPECTOR QUALIFICATIONS: DEMONSTRATE COMPETENCE, TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION IN QUESTION. PRIOR TO THE BEGINNING OF CONSTRUCTION, REVIEW THE SPECIAL INSPECTION REQUIREMENTS WITH THE ARCHITECT, ENGINEER, BUILDING OFFICIAL, GENERAL CONTRACTOR AND SPECIAL INSPECTORS. DUTIES OF THE SPECIAL INSPECTOR INCLUDE, BUT ARE NOT LIMITED TO:
  - OBSERVE THE WORK FOR CONFORMANCE WITH THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS. BRING DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR BUILDING OFFICIAL.
  - FURNISH INSPECTION REPORTS FOR EACH INSPECTION TO THE BUILDING OFFICIAL, ARCHITECT, ENGINEER, GENERAL CONTRACTOR AND OWNER IN A TIMELY MANNER.
  - SUBMIT A FINAL REPORT STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS INSPECTED, AND WHETHER THE WORK IS IN CONFORMANCE WITH THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS.
- DUTIES OF THE CONTRACTOR INCLUDE, BUT ARE NOT LIMITED TO:
  - NOTIFY SPECIAL INSPECTOR THAT WORK IS READY FOR INSPECTION AT LEAST 24 HOURS BEFORE THE INSPECTION IS REQUIRED.
  - MAINTAIN ACCESS TO WORK REQUIRING SPECIAL INSPECTION UNTIL IT HAS BEEN OBSERVED AND INDICATED TO BE IN CONFORMANCE BY THE SPECIAL INSPECTOR AND APPROVED BY THE BUILDING OFFICIAL.
  - PROVIDE THE SPECIAL INSPECTOR WITH ACCESS TO APPROVED PERMIT DRAWINGS AND SPECIFICATIONS AT THE JOB SITE.
  - MAINTAIN JOB-SITE COPIES OF ALL REPORTS SUBMITTED BY THE SPECIAL INSPECTOR.

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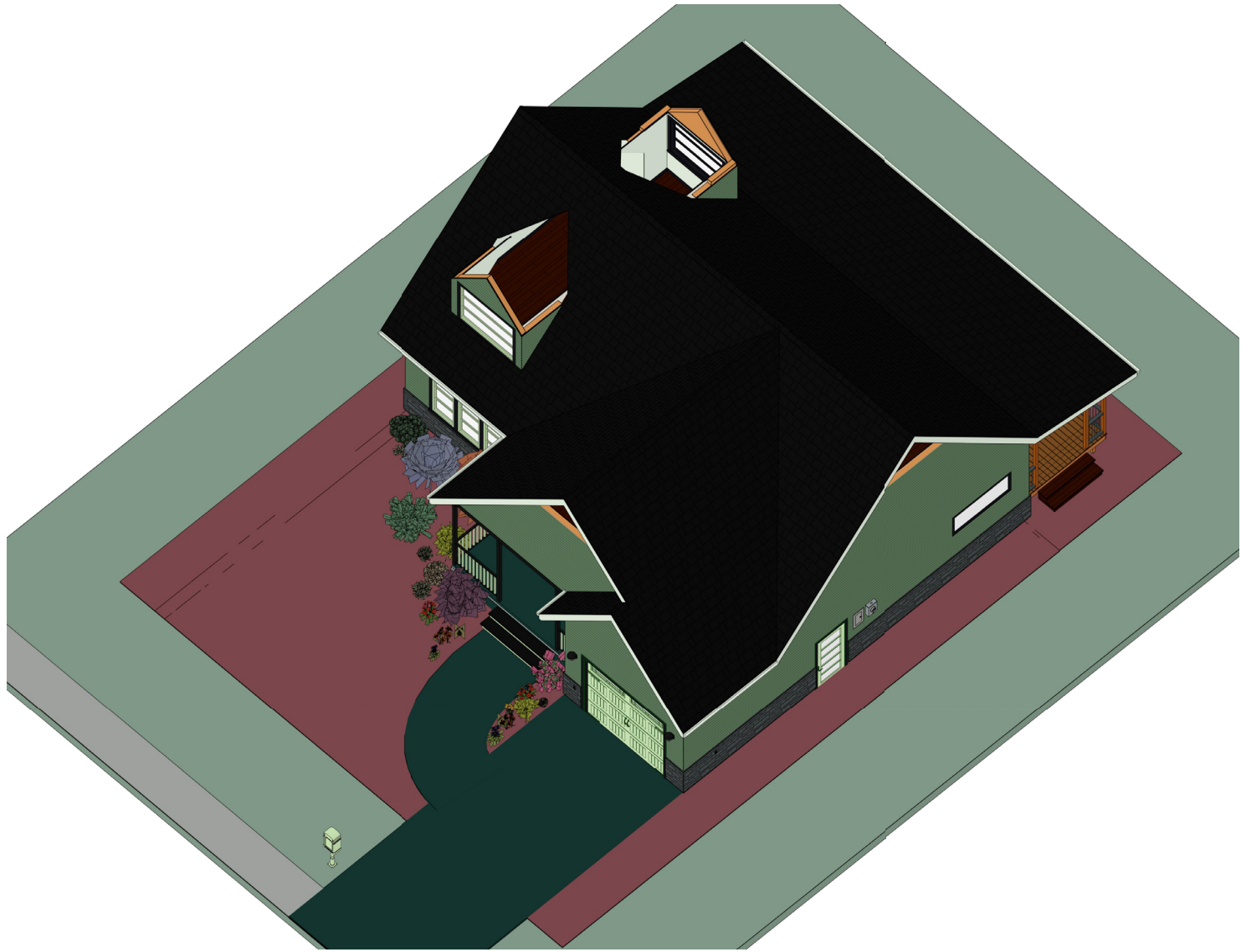
CHIC COTTAGE

1203 CENTAUR RD  
SAG HARBOR, AK 52606

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| GENERAL<br>NOTES |                    |            |
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| G-002            |                    |            |
| SHEET 2 OF 9     |                    |            |

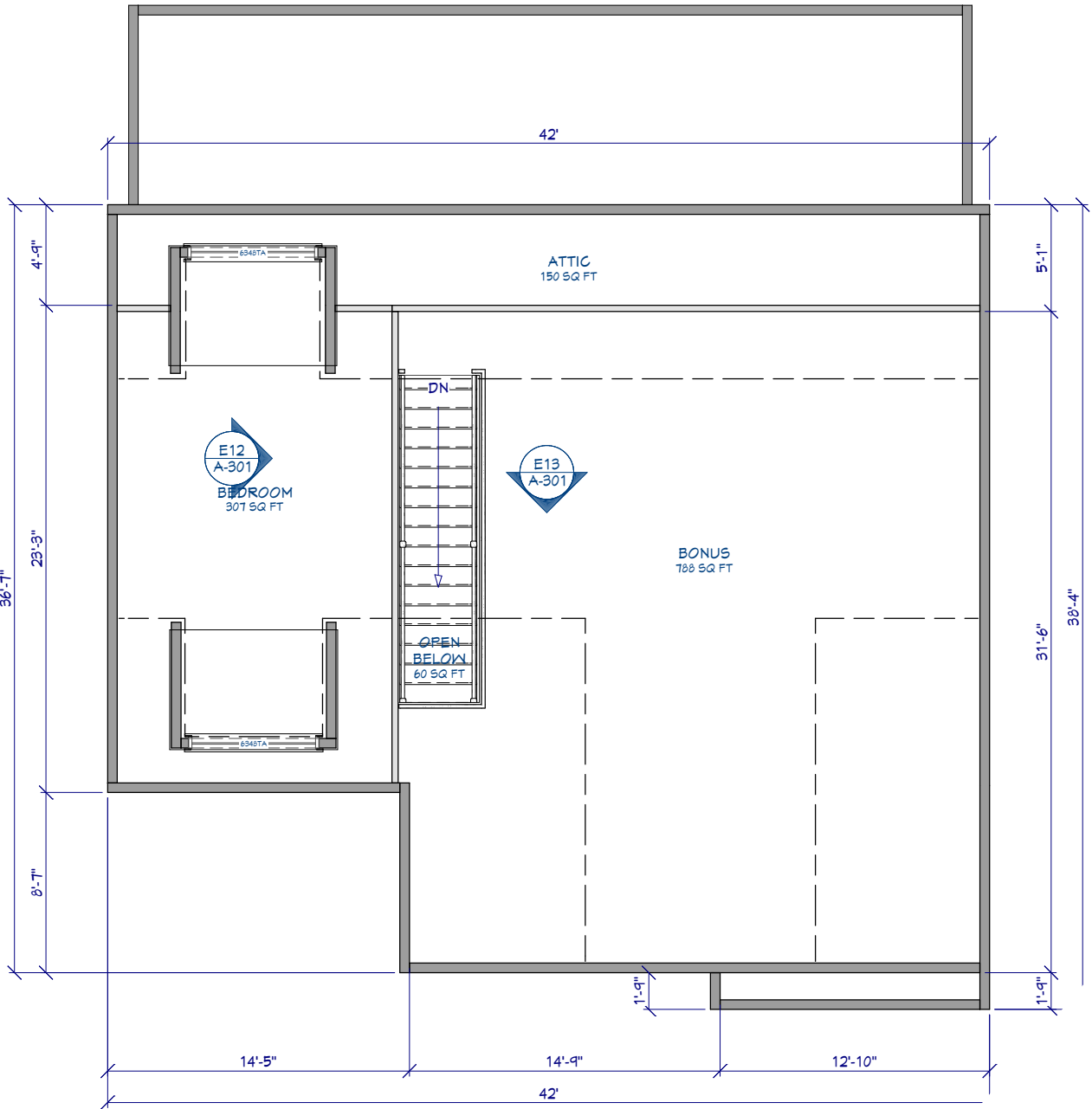
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2ND FLOOR PLAN RENDER  
NOT TO SCALE

- FLOOR PLAN NOTES:**
- 1. ALL EXTERIOR DIMENSIONS ARE TO THE FRAMING OR MAIN LAYER. DIMENSIONS TO OPENINGS ARE TO THE CENTER.
  - 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).



2ND FLOOR PLAN  
1/4"=1'

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CHIC COTTAGE

1203 CENTAUR RD  
SAG HARBOR, AK 52606

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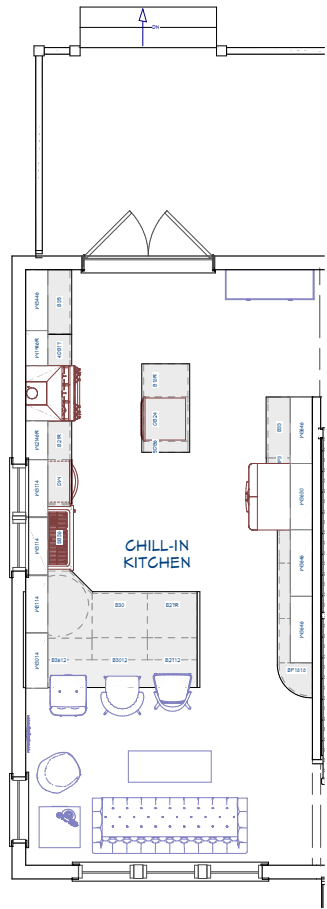
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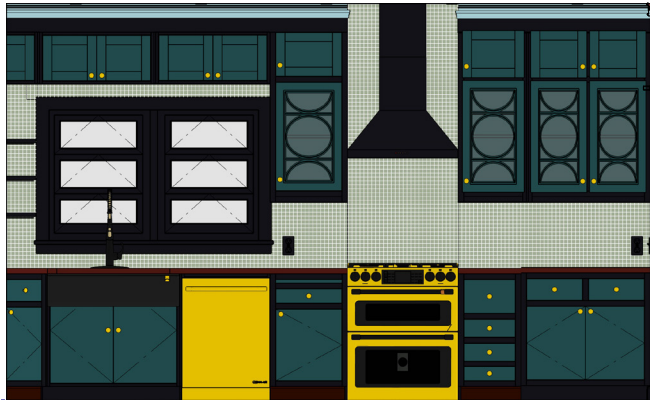
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| SECOND FLOOR PLAN |

| DRAWING NUMBER |
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| A-102          |
| SHEET 4 OF 9   |

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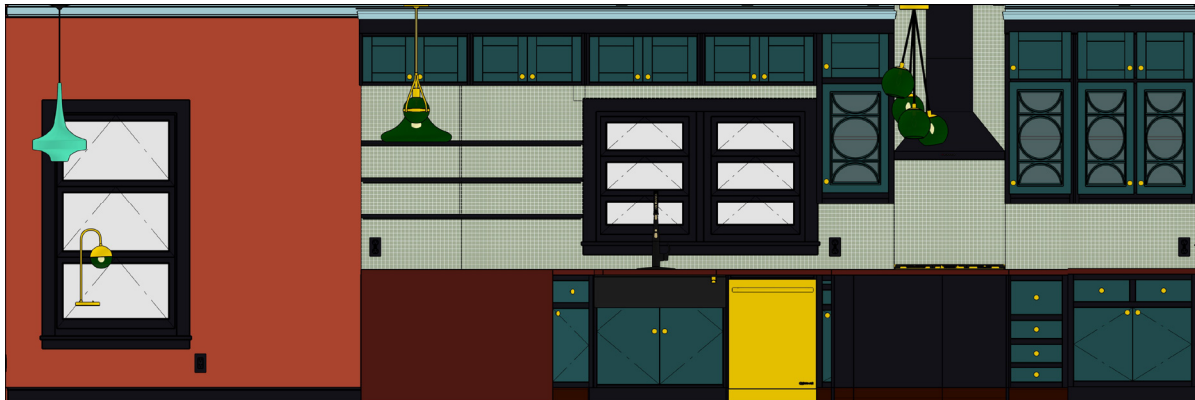
KITCHEN FLOOR PLAN  
1/3"=1'



1 MAIN WALL ELEVATION  
1/2"=1'



KITCHEN RENDERING  
FOR ILLUSTRATION ONLY NO SCALE



2 MAIN WALL ELEVATION  
1/2"=1'



4 SIDE WALL ELEVATION  
1/2"=1'



3 FRONT ISLAND ELEVATION  
1/2"=1'

KITCHEN & CABINET NOTES:

- 1 ALL CABINETS FRAMELESS, MAPLE OR ALDER
- 2 CONFIRM FINISH & STAIN/PAINT WITH CLIENT PRIOR TO ORDERING
- 3 CONFIRM DOOR & DRAWER STYLES WITH CLIENT PRIOR TO ORDERING
- 4 INSTALL HARDWARE ON SITE
- 5 INSTALL CROWN MOLDING ON SITE; CONFIRM PROFILE AND DIMENSION WITH HOME OWNER
- 6 CABINET SUPPLIER RESPONSIBLE FOR FINAL MEASUREMENTS & CABINET OPENINGS FOR APPLIANCES SPECIFICATIONS
- 7 ALL APPLIANCES TO BE ON DEDICATED CIRCUITS, UNO. REFER TO APPLIANCE SPECIFICATIONS FOR AMP/VOLTAGE REQUIREMENTS
- 8 USE MIN 6" DUCT FOR HOOD. CONFIRM HOOD IS 600 CFM MIN.
- 9 CONFIRM FINAL MATERIALS FOR BACKSPLASH AND COUNTERTOP WITH CLIENT PRIOR TO ORDERING
- 10 ALL DRAWERS TO BE TONGUE & GROOVE; GLIDES TO BE SOFT CLOSE
- 11 LED STRIP LIGHTS FOR WALL CABINETS AND UNDER ISLAND
- 12 UNDERCOUNTER GFCI ELECTRICAL PLUGS
- 13 COUNTER FABRICATION: CONFIRM ALL FIXTURE MEASUREMENTS AND CENTERLINES

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1203 CENTAUR RD  
SAG HARBOR, AK 92606

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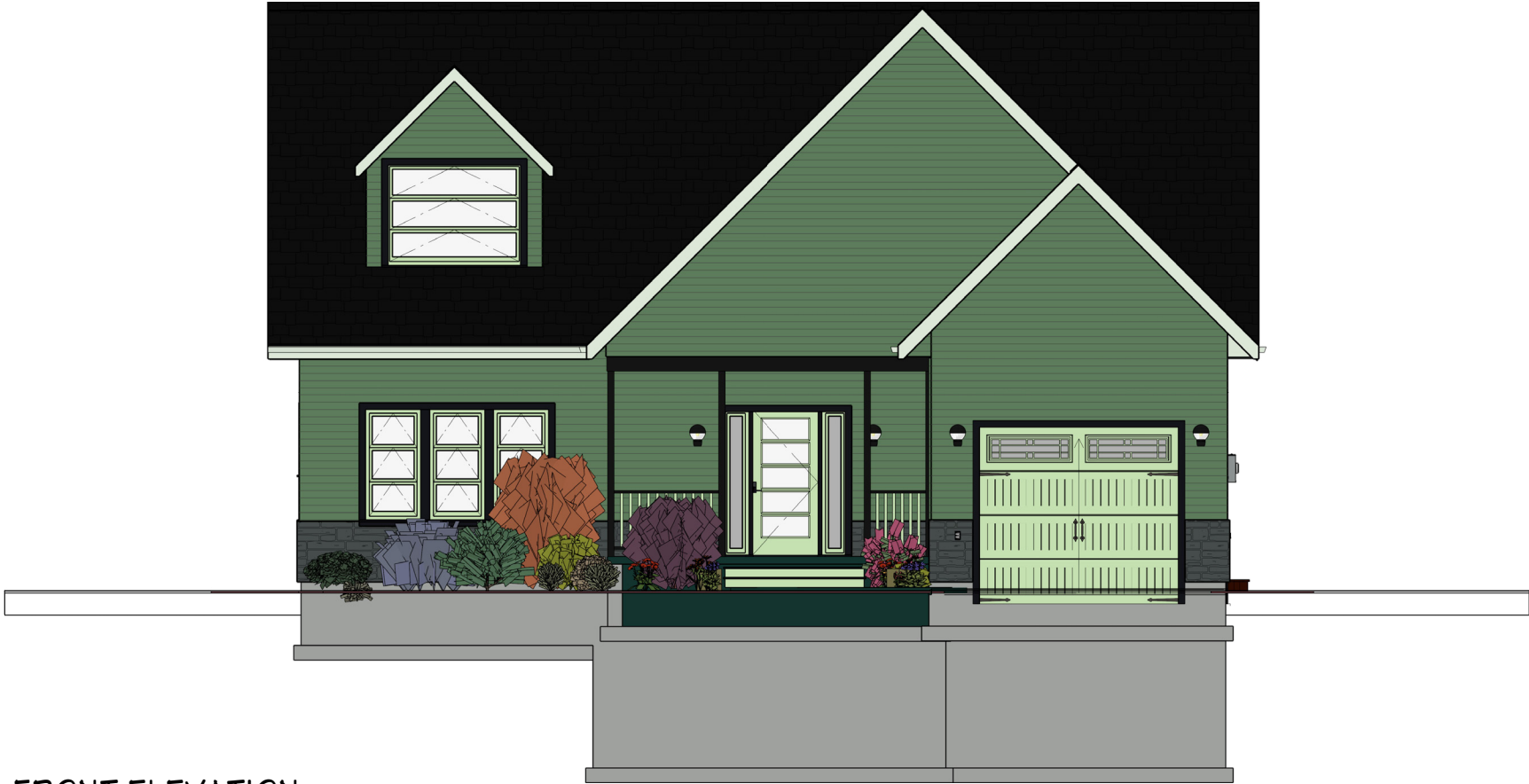
ENLARGED  
KITCHEN PLAN &  
ELEVATIONS

DRAWING NUMBER

A-131

SHEET 5 OF 9

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FRONT ELEVATION  
1/4"=1'



REAR ELEVATION  
1/4"=1'

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SAG HARBOR, AK 99606

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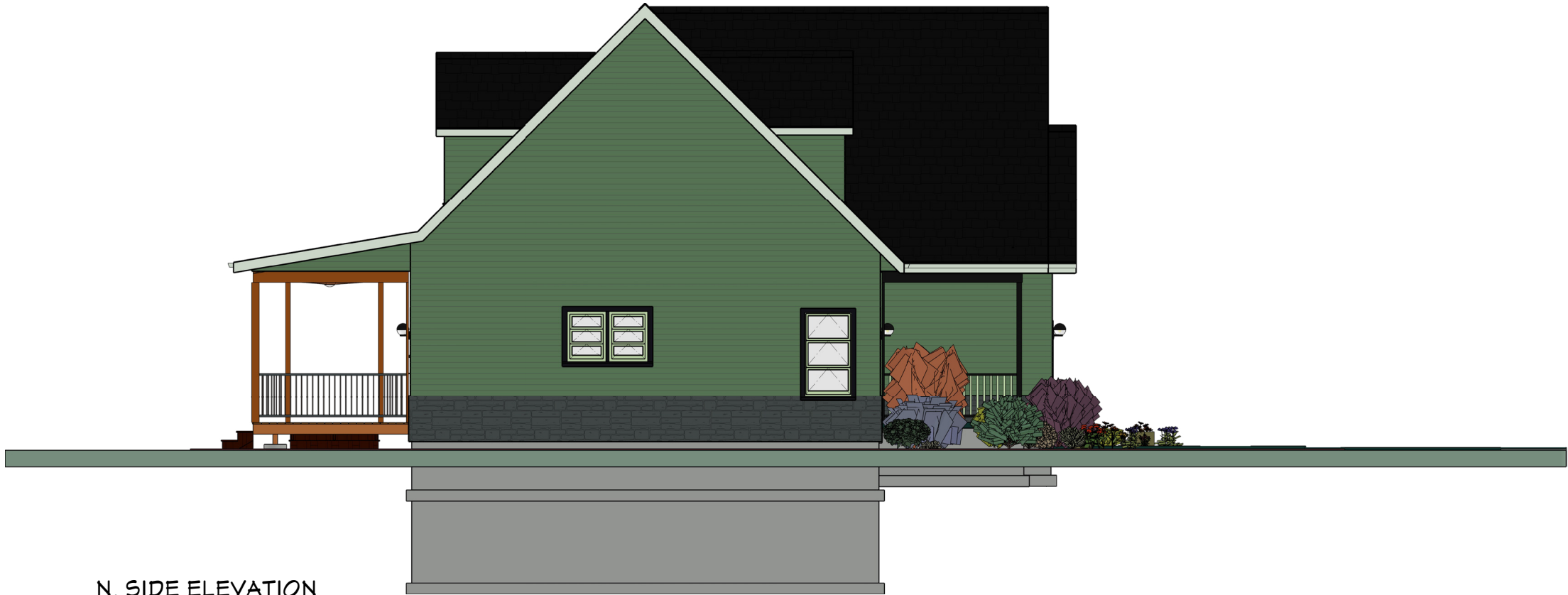
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PROJECT NUMBER  
001.001  
SHEET NAME  
FRONT & REAR  
ELEVATIONS

DRAWING NUMBER  
A-201  
SHEET 6 OF 9

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N. SIDE ELEVATION  
1/4"=1'



S. SIDE ELEVATION  
1/4"=1'

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| SHEET NAME      |
| SIDE ELEVATIONS |

| DRAWING NUMBER |
|----------------|
| A-202          |
| SHEET 7 OF 9   |

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1 BUILDING SECTION  
1/4"=1'



2 BUILDING SECTION  
1/4"=1'

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CHIC COTTAGE

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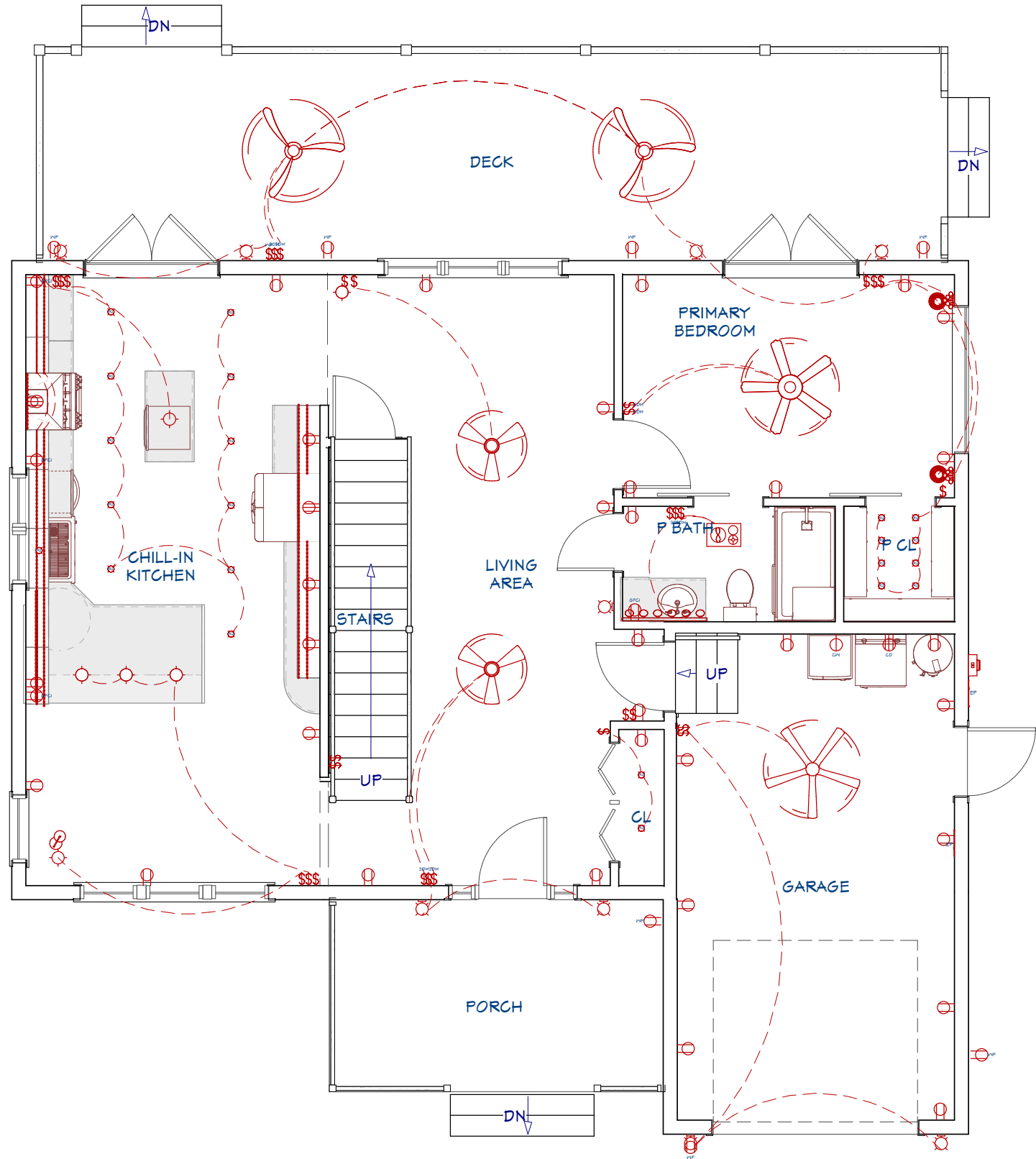
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PROJECT NUMBER  
001.001  
SHEET NAME  
BUILDING  
SECTIONS

DRAWING NUMBER  
A-301  
SHEET 8 OF 9

NOT ISSUED FOR PERMIT



1ST FLOOR ELECTRICAL PLAN

1/8"=1'

NOTES:

**ELECTRICAL:**  
ELECTRICAL OUTLETS IN ROOMS SHALL BE INSTALLED PER CODE TYP.  
HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, VACUUM, ETC.  
PROVIDE MIN. 400 AMP SERVICE TO MAIN PANEL(S)  
ALL APPLIANCES & UTILITIES TO HAVE DEDICATED CIRCUITS. SEE MFG'S SPECS. FOR REQUIREMENTS  
ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, FOUNDATION AND GARAGE SHALL BE G.F.C.I. PER NATIONAL ELECTRICAL CODE REQUIREMENTS  
ALL BEDROOM OUTLETS AND LIGHTS BE ARCH FAULT PROTECTED  
ALL VENTILATION FANS SHALL BE ON TIMER SWITCHES, UNO.  
PROVIDE ONE SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.  
CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.  
FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.  
FIXTURES TO BE SELECTED BY HOME OWNER.  
UNO - ALL SWITCHES TO BE 48" ASF. INTERIOR OUTLETS TO BE 15" ASF. OUTLETS OVER COUNTERTOPS TO BE 3" ABOVE COUNTER FROM BOTTOM. GARAGE OUTLETS TO BE 40" ASF. (ASF = ABOVE SUBFLOOR)  
ALL LIGHTING SHALL BE DIMABLE AND USE LED, UNO.  
**AUDIO:**  
LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR;  
AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER;  
LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA / CABLE PANEL SIMILAR TO "ON Q". SYSTEM TO BE APPROVED BY HOME OWNER.  
**DATA / CABLE:**  
LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY HOME OWNER. HOME OWNER PROVIDED & INSTALLED

BARBI OSBORNE

CHIC COTTAGE

1203 CENTAUR RD  
SAG HARBOR, AK 92606

| REVISIONS |                    |      |
|-----------|--------------------|------|
| NO.       | REVISION REFERENCE | DATE |
|           |                    |      |
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| DRAWN BY        | CHECKED BY |
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| BO              | NB         |
| SCALE           | ISSUE DATE |
| AS NOTED        | 02-19-24   |
| PROJECT NUMBER  |            |
| 001.001         |            |
| SHEET NAME      |            |
| ELECTRICAL PLAN |            |
| DRAWING NUMBER  |            |
| A-801           |            |
| SHEET 9 OF 9    |            |

NOT ISSUED FOR PERMIT